



Comhairle Contae Chill Dara

Kildare County Council

Date: 7th May 2025.
Our Ref: ED/1188.

Eric Gaughan
Coláiste Lorcaín,
c/o Building Design Partnership (BDP),
Blackhall Green,
Dublin 7
D07 V0RF

RE: Application for a Declaration of Exempted Development under Section 5 of Planning and Development Act 2000 (as amended) for development at Coláiste Lorcaín, Castledermot, Athy, Co. Kildare.

Dear Sir/Madam,

I refer to your correspondence received on 30th January 2025 and 25th April 2025 in connection with the above.

Please find attached declaration made under Section 5 of Planning and Development Acts 2000 (as amended) in this regard.

Yours sincerely,

PP 
Senior Executive Officer,
Planning Department.



Comhairle Contae Chill Dara

Kildare County Council

Declaration of Development & Exempted Development under Section 5 of the Planning and Development Act 2000 (as amended).

ED/1188.

WHEREAS a question has arisen as to whether the installation of ventilation hoods onto the external facade to serve internal classroom MHVR units, replacement of existing high level external single glazed system to the gym hall with double glazed curtain wall system, replacement of existing double height external timber screens & doors to gym hall with curtain walling system with solid aluminium spandrels and doors, repainting of existing façade, replacement of the existing flat roofs and rooflights of the gym hall, changing block with new insulated bitumen roof laid to falls and rooflights, works to install 2x air source heat pumps and the installation of a vandal resistant EVC car charging local electrical enclosure, distribution board and dual car charging outlet at Coláiste Lorcaín, Castledermot, Athy, Co. Kildare, is exempted development,

AS INDICATED on the plans and particulars received by the Planning Authority on 30th January 2025 and 25th April 2025

AND WHEREAS Eric Gaughan, Coláiste Lorcaín requested a declaration on the said question from Kildare County Council,

AND WHEREAS Kildare County Council as the Planning Authority, in considering this application for a declaration under Section 5 of the Planning and Development Act 2000 (as amended), had regard to;

- (a) Planning and Development Act 2000 (as amended) and
- (b) Planning and Development Regulations 2001 (as amended); and
- (c) Documentation received with the application

AND WHEREAS Kildare County Council has concluded that the development comprises works to which the provisions of the following applies:

- (a) Sections 2, 3, 4 of the Planning and Development Act 2000 (as amended).
- (b) Article 6 and 9 of the Planning and Development Regulations 2001 (as amended)
- (c) The nature, extent and purpose of the works,

NOW THEREFORE Kildare County Council, in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended), hereby decides that the installation of ventilation hoods onto the external façade to serve internal classroom MHVR units and the repainting of the existing facade at Coláiste Lorcaín, Castledermot, Athy, Co. Kildare ***IS development and IS EXEMPTED development pursuant to Section 4 1(h) of the Planning and Development Act as amended and of Article 6, Article 9 of the Planning and Development Regulations as amended.***





Comhairle Contae Chill Dara

Kildare County Council

The changing block with new insulated bitumen roof laid to falls and rooflights and the replacement of the existing flat roofs and rooflights of the gym hall at Coláiste Lorcaín, Castledermot, Athy, Co. Kildare **IS NOT development pursuant to Section 4 1(h) of the Planning and Development Act as amended and of Article 6, Article 9 of the Planning and Development Regulations as amended.**

AND

The works to install 2 x air source heat pumps, replacement of existing double height external timber screens & doors to gym hall with curtain walling system with solid aluminium spandrels and doors, replacement of existing high level external single glazed system to the gym hall with double glazed curtain wall system and the installation of a vandal resistant EVC car charging local electrical enclosure, distribution board and dual car charging outlet at Coláiste Lorcaín, Castledermot, Athy, Co. Kildare **IS development and IS NOT EXEMPTED development pursuant to Article 6 and 9 of the Planning and Development Regulations 2001 as amended.**

Please note that any person issued with a declaration under subsection 2(a) of the Planning and Development Act 2000 (as amended) may on payment to the Board of the prescribed fee, refer a declaration to An Bord Pleanála within 4 weeks of the issuing of the decision.

7th May 2025.

PP 
Senior Executive Officer,
Planning Department.



KILDARE COUNTY COUNCIL



PLANNING & STRATEGIC DEVELOPMENT DEPARTMENT

Section 5 referral & declaration on development & exempted development

Planning & Development Act 2000 (as amended)

Reference No. ED/1188

Name Of Applicant(s):	Coláiste Lorcaín
Address Of Development:	Coláiste Lorcaín, Castledermot, Co. Kildare
Development Description:	Repair and maintenance works to existing school building associated with energy reduction programme
Due date	27 th February 2025

Introduction

This is a request for a **DECLARATION** under Section 5(1) of the Planning and Development Act 2000 (as amended) to establish whether under Section 5 of the Act the works associated with Block A and C of Coláiste Lorcain to repair, replace and improve the structures in line with the energy reduction programme, is or is not exempted development.

Site Location

The site is located in the centre of Castledermot on the western side of the R448, Abbey Street. The school itself is comprised of a cluster of 2 storey structures located to the rear (southwest) of the Church of the Assumption. The school grounds also encompass some sports field immediately to the north.

Description of Proposed Development

The proposed developments comprise of repairs, replacements and improvements to be made to 2 separate parts of Coláiste Lorcain in Castledermot.

Block A

Installation of ventilation hoods onto the external facade to serve internal classroom MHVR units.

Block C

The replacement of existing high level external single glazed system to the gym hall with double glazed curtain wall system, replacement of existing double height external timber screens & doors to gym hall with curtain walling system with solid aluminium spandrels and doors, replacement of existing windows, doors and glazed screens to the adjacent changing block facade with similar, repainting of existing facade.

Replacement of the existing flat roofs and rooflights of the gym hall and changing block with new insulated bitumen roof laid to falls and rooflights. The works will also include installation of an air source heat pump.



Fig 1: Site Location and context



Fig 2: Aerial view of subject site (GIS)

Planning History

Planning reference 07/888: Planning permission granted to Sean Ashe for the provision of 2 new science rooms and ancillary storage areas in existing canteen alteration to existing stair wells provision

of new external fire escape stairs provision of new fire escape door off existing stairwell etc

Relevant Legislative Background

Planning and Development Act 2000 (as amended)

Section 2(1)

“alteration” includes—

(a) plastering or painting or the removal of plaster or stucco, or

(b) the replacement of a door, window or roof,

that materially alters the external appearance of a structure so as to render the appearance inconsistent with the character of the structure or neighbouring structures;

‘works’ includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3(1)

In this Act, ‘development’ means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4(1)

The following shall be exempted development for the purposes of the Act-

(h) development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

Section 5(7) EIA Screening

The proposed development is not specified in Part 2 of Schedule 5 of the Planning and Development Regulations 2001(as amended). In any event, it is considered,

having regard to nature, size and location, the proposed development would not be likely to have significant effects on the environment. Therefore, EIA is not required.

Planning and Development Regulations 2001 (as amended)

Article 6(1)

Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

Article 9 (1)(a)(i)

Restrictions on exemption.

9. (1) *Development to which article 6 relates shall not be exempted development for the purposes of the Act—*

(a) if the carrying out of such development would

- i) contravene a condition or be inconsistent with a use of permission
- (ii) material widening of a means of access to a public road
- (iii) traffic hazard or obstruction of road user.....
- (iiia) hazardous glint and/or glare....
- (iv) infringes building line
- (v) works under a public road (other than certain infrastructural works) ...
- (vi) interfere with the character of a landscape/view of special interest
- (vii) excavation/alteration/demolition of features/places/caves.....
- (viiA) excavation, alteration or demolition of any archaeological monument ...
- (viiB) likely to have a significant effect on the integrity of a European site
- (viiC) likely to have an adverse impact on a a natural heritage area ..
- (viii) extension, alteration, repair or renewal of an unauthorised structure or use....
- (ix) demolition/alteration of building/structure, precluding a use where it is an objective for the structure to remain available for that use....
- (x) consist of the fencing/enclosure of any land habitually used by the public

- (xi) obstruct any public right of way...
- (xii) exterior works materially affecting the character of an ACA...

The full criteria laid out under Article 9 must be considered as part of the assessment of this application.

Class 57

The extension of a school, where the school has not been previously extended under a CLASS 57 exemption, by the construction or erection of an extension to the side or rear of the school.

- 1. The floor area of any such extension shall not exceed 210 square metres.*
- 2. No such structure shall be above the ground floor.*
- 3. Any extension shall be a distance of not less than 2 metres from any party boundary.*
- 4. An exemption under this class shall only be availed of once.*
- 5. Such structure shall comply with the Department of Education Primary and Post Primary Technical Guidance Documents for the time being in force.*

Assessment

The proposed developments comprise of repairs, replacements and improvements to be made to 2 separate parts of Coláiste Lorcaín in Castledermot.

Block A

- **Installation of ventilation hoods onto the external facade to serve internal classroom MHVR units.**

As per section 4(1) of the Planning and Development Act, should the proposed ventilation hoods materially affect the *appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures*, then they would not be considered to be exempted development. The proposed ventilation hoods do not appear to be illustrated on the documents submitted to the Planning Authority. It is unclear as to the quantity or size of the units proposed and their proposed position(s) on the building. As a result, a determination as to whether the *installation of ventilation hoods onto the external facade to serve the*

internal classroom MVHR units cannot yet be made. For this part of the declaration further information will be required.

Block C

- **The replacement of existing high level external single glazed system to the gym hall with double glazed curtain wall system.**

The replacement of existing high level external single glazed system to the gym hall with double glazed curtain wall system will materially alter the external appearance of the structure and therefore is considered to be works as stated in Section 2(1) of the Planning and Development Act 2000 (as amended) and are therefore deemed to be development. These items are deemed to be 'Works' as stated in Section 2(1) of the Planning and Development Act 2000 (as amended) and are therefore deemed to be development. As per **Section 4(1)** (h) these items due to the fact that they will likely alter the external appearance of the structure **are not exempted development.**

- **The replacement of existing double height external timber screens & doors to gym hall with curtain walling system with solid aluminium spandrels and doors.**

The replacement of the existing double height external timber screens & doors to gym hall with curtain walling system with solid aluminium spandrels and doors, are deemed to be works under the definition of 'alteration' as stated in Section 2(1) of the Planning and Development Act 2000 (as amended) because the replacement of the existing double height external timber screens & doors to the gym hall with a curtain walling system with solid aluminium spandrels and doors constitutes a material alteration of the external appearance of the structure potentially rendering the appearance inconsistent with the character of the structure and of neighbouring structures. These items are deemed to be 'Works' as stated in Section 2(1) of the Planning and Development Act 2000 (as amended) and are therefore deemed to be development. As per **Section 4(1)** (h) these items due to the fact that they will likely alter the external appearance of the structure **are not exempted development.**

- **The replacement of existing windows, doors and glazed screens to the adjacent changing block facade with similar.**

In Section 2(1) of the Planning and Development Act 2000 "alteration" includes,

(a) plastering or painting or the removal of plaster or stucco, or

(b) the replacement of a door, window or roof.

that materially alters the external appearance of a structure so as to render the appearance inconsistent with the character of the structure or neighbouring structures;

Under this definition the replacement of the existing windows, doors and glazed screens of the changing block facade with similar would not materially alter the external appearance of the structure so as to render the appearance inconsistent with the remainder of the structure or any surrounding structures. Therefore, these items are not deemed to be works as defined in **Section 2(1)** of the Planning and Development Act 2000 and as a result are not deemed to be development.

- **The repainting of existing facade.**

It appears as though few details as to the extent of repainting of the existing facade have been submitted. It is noted that the façade of the existing school encompasses a large surface area. It is unclear if the entire structure is the subject of the 'repainting of existing façade'. The repainting (alteration) may or may not be works – this depends on whether or not the painting would materially alter the external appearance. The existing structures have mostly red brick external finishes. It cannot be determined if this item is 'Works' or 'Development'. For this part of the declaration **further information** will be required.

- **Replacement of the existing flat roofs and rooflights of the gym hall.**

The replacement of the existing flat roofs and rooflights of the gym hall is illustrated in both the Block C Existing Roof Plan and the Block C Proposed Plans. The changes appear to be straightforward replacements of the existing flat roofs and rooflights. As per **Section 2(1) of the Act** under the definition of '**alteration**' if the replacement of windows and a roof will not materially alter the external appearance of a structure to render the appearance inconsistent with the character of the structure or any neighbouring structures then it is not considered to be 'works. As a result, this item is not deemed to be development.

- **The changing block with new insulated bitumen roof laid to falls and rooflights.**

Having regard to the documents submitted to the Planning Authority, it is noted that the new roofing design on the Changing Block shall match the existing design and utilise all existing rainwater points. Again, as per **Section 2(1)** of the Act under the definition of 'alteration', as there would be no material alteration to the external appearance of the structure then it is considered that this item is not *works* and therefore not deemed to be *development*.

- **The works will also include installation of an air source heat pump.**

There appears to be 2x proposed air source heat pumps included on the site layout submitted. The first of these will be situated to the northwest of Block C. The second to the north of the front facade of Block A. These will both be enclosed behind a 2.8m high screen. Again, no further details of the size, height and form of the structures have been supplied, therefore it is not possible to decipher if these items constitute 'works' or 'exempted development'. **Further information** is required for this point.

Note:

The Site Layout Plan appears to indicate some additional items on top of that described in the description which is the subject of this declaration request. These are as follows;

- A total of 2 heat pumps where only 1x was mentioned in the development description (1x in Block A not referred to).
- A proposed vandal resistant EVC car charging local electrical enclosure, distribution board and dual car charging outlet.

Conclusion

There are some outstanding issues to clarify regarding the repainting of the existing facade, the installation of the ventilation hoods and an air source heat pump.

Recommendation

It is recommended that **further information** be requested as follows:

The applicant is requested to fully clarify the full extent of the proposed works as there are discrepancies between the details noted in the application form and the site layout plan:

1. Very little detail has been submitted to support the determination for the 'repainting of existing façade'. It is unclear if the entire school building is the subject of the 'repainting of existing façade'. The applicant is requested to detail the extent of the repainting of the existing façade.
2. Very little detail has been submitted to support the determination for the 'installation of ventilation hoods onto the external façade to serve internal classroom MVHR units. It is noted that no information has been submitted to show either the size of the units or their location on the building. For a determination to be made the applicant is requested to submit elevational drawings of these items, with dimensions.
3. Very little detail has been submitted to support the determination for the installation of the air source heat pump. It is noted that no information has been submitted to show either the size, height or length of these items (elevational drawings). For a determination to be made the applicant is requested to submit elevational drawings of these items, with dimensions.

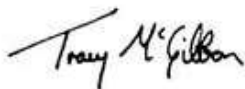
The Site Layout Plan appears to indicate 2x additional items on top of that described in the description which is the subject of this declaration request. A second heat pump to the north of Block A has been outlined and also a vandal resistant EVC car charging local electrical enclosure, distribution board and dual car charging outlet. The Applicant is requested to clarify as to why these items have been included in the site layout plan submitted with the Section 5 Declaration.

Signed:



Planner: Cian Buckley

Date: 08/04/2025



Tracy McGibbon

Senior Executive Planner

23/04/2025

KILDARE COUNTY COUNCIL



PLANNING & STRATEGIC DEVELOPMENT DEPARTMENT

Section 5 referral & declaration on development & exempted development

Planning & Development Act 2000 (as amended)

Reference No. ED/1188 (Report 2)

Name Of Applicant(s):	Coláiste Lorcain
Address Of Development:	Coláiste Lorcain, Castledermot, Co. Kildare
Development Description:	Repair and maintenance works to existing school building associated with energy reduction programme
Due date	19 th May 2025

Further Information was requested as follows:

1. *Very little detail has been submitted to support the determination for the 'repainting of existing façade'. It is unclear if the entire school building is the subject of the 'repainting of existing façade'. The applicant is requested to detail the extent of the repainting of the existing façade.*

Applicant's Response

In response to the first point in the further information request the Applicant stated the detailed extent of the 'repainting of the existing façade'. The repainting will be limited to only the areas around the proposed works to the façade, in this case around the window/door replacements and the ventilation hood installations. The works are to be carried out on the facade with an existing painted finish and the repainted finish is proposed to match the existing school appearance.

2. *Very little detail has been submitted to support the determination for the 'installation of ventilation hoods onto the external façade to serve internal classroom MVHR units. It is noted that no information has been submitted to show either the size of the units or their location on the building. For a determination to be made the applicant is requested to submit elevational drawings of these items, with dimensions.*

Applicant's Response

In response to the above point, it has been outlined that 2x MVHR units will be located on the north (side), 2x on the south (side) and 1x on the east (front) elevation on Block A. It is stated that the MVHR units are 300mm (height) x 500mm (width) x 100mm (diameter) and are to be grey powder coated aluminium in appearance.

3. *Very little detail has been submitted to support the determination for the installation of the air source heat pump. It is noted that no information has been submitted to show either the size, height or length of these items (elevational drawings). For a determination to be made the applicant is requested to submit elevational drawings of these items, with dimensions.*

Applicant's Response

In response to this point the Applicant submitted a revised site layout plan with details of the 2x proposed air source heat pumps. The first heat pump is located in Block A within an existing service yard which has a 3.1m masonry boundary wall which will screen it from view. The 2nd heat pump is located to the rear of the Block C on existing soft landscaping. This is accessible from the existing footpath around the perimeter of the building. This will have 2.8m high acoustic screening.

4. *The Site Layout Plan appears to indicate 2x additional items on top of that described in the description which is the subject of this declaration request. A second heat pump to the north of Block A has been outlined and also a vandal resistant EVC car charging local electrical enclosure, distribution board and dual car charging outlet. The Applicant is requested to clarify as to why these items have been included in the site layout plan submitted with the Section 5 Declaration.*

Applicant's Response

In the response submitted the Applicant has stated that the 2nd proposed heat pump and the proposed vandal resistant car charging local electrical enclosure, distribution board and dual car charging outlet are to be considered as part of this Section 5 Declaration. A revised site layout plan has been submitted which amends the red site application boundary previously shown so that these proposed works are now included within it.

Assessment

The Applicant has provided further information in relation to the below points as part of the Section 5 Declaration. These can be summarised as the following 4x questions.

Question 1

-Is the installation of ventilation hoods onto the external façade to serve internal classroom MHVR units' development and is it or is it not exempted development?

It is considered that the installation of ventilation hoods onto the external façade of the structure to the side (north and south) and front (east) elevations constitute development and is considered to be works of construction, extension, alteration, repair of the structure and, having regard to the side-facing location of 4x of the units and the minor nature of the 1x front facing unit, the distance the school is set back from the road and the scale of the structure, it is considered that these works fall within the provisions of Section 4(1)(h) of the Planning and Development Act 2000 (as amended) as such works would not materially affect the external appearance of the structure **so as to render the appearance inconsistent with the character of the structure.**

It is considered therefore that the installation of ventilation hoods onto the external façade is development and is exempted development.

Question 2

-Is the **repainting of the existing facade** development and is it or is it not exempted development?

Class 12 of Schedule 2 Part 1 of the Planning and Development Regulations 2001 (as amended) provides an exemption for *the painting of any external part of any building or other structure*.

-Such painting may not, except in the case of a hoarding or other temporary structure bounding land on which development consisting of works is being or will be carried out in pursuance of a permission granted under Part III of the Act or as exempted development, be for the purposes of creating a mural.

It is considered that the repainting of the façade over the specified areas of the exterior of the building is development and is exempted development.

Question 3

-Is the **installation of 2x Heat Pumps located to the side of Block A and Block C** development and is it or is it not exempted development?

The site layout plan indicates the location of the proposed Heat Pumps and associated works located 1x on soft landscaping and 1x on an existing service yard. There is no provision in the Planning and Development Regulations 2001 (as amended) for the provision of a heat pump within the curtilage of a school. To this end, it is considered that the provision of the heat pump and associated landscaping/screening is development and is NOT exempted development.

Question 4

-Is the **installation of a vandal resistant EVC car charging local electrical enclosure, distribution board and dual car charging outlet** development and is it or is it not exempted development?

Class 29A of Schedule 2 Part 1 of the PD Regulations 2001 as amended provides for exemptions for the construction of a charging point for electric vehicles that does not exceed 3.6 cubic metres by volume above ground. The Class also provides for the construction of bollards not exceeding 1.2m in height and 0.2 cubic metres by volume above ground for the purposes of protecting such charging point.

Class 29B of the same Schedule provides for an exemption for development consisting of – (a) the construction of a charging hub for electric vehicles that contain – (i) not more than one substation or mini pillar to which Class 29 applies, and (ii) not more than 4 charging points to which Class 29A applies, or (b) the construction of bollards not exceeding – (i) 1.2 metres in height, and (ii) 0.2 cubic metres by volume above ground, for the purpose of protecting each such charging point.

Insufficient detail has been submitted with regard to the EVC car charging local electrical enclosure distribution board and dual car charging outlet to enable an assessment of same with regard to Class 29A and 29B of the Regulations.

The installation of EVC car charging local electrical enclosure, distribution board and dual car charging outlet is development and at this stage, given the lack of detail submitted with the application, is NOT exempted development.

Recommendation

See draft Declaration attached.

Declaration of Development & Exempted Development under

Section 5 of the Planning and Development Act 2000 (as amended)

WHEREAS a question has arisen as to whether

- The installation of ventilation hoods onto the external facade to serve internal classroom MHVR units.
- The replacement of existing high level external single glazed system to the gym hall with double glazed curtain wall system.
- The replacement of existing double height external timber screens & doors to gym hall with curtain walling system with solid aluminium spandrels and doors.
- The repainting of existing facade.
- The replacement of the existing flat roofs and rooflights of the gym hall.
- The changing block with new insulated bitumen roof laid to falls and rooflights.
- The works to install 2x air source heat pumps.
- The installation of a vandal resistant EVC car charging local electrical enclosure, distribution board and dual car charging outlet.

Is development and whether such development is or is not exempted development.

AS INDICATED on the plans and particulars received by the Planning Authority on 25/04/2025

AND WHEREAS the Applicant Eric Gaughan, Colaiste Lorcaín, Castledermot has requested a declaration on the said question from Kildare County Council,

AND WHEREAS Kildare County Council as the Planning Authority, in considering this application for a declaration under Section 5 of the Planning and Development Act 2000 (as amended), had regard to;

1. Planning and Development Act 2000 (as amended); and
2. Planning and Development Regulations 2001 (as amended);

AND WHEREAS Kildare County Council has concluded that the proposal comprises of development to which the provision of the following applies:

1. Sections 2, 3, 4 of the Planning and Development Act 2000 (as amended).

2. Article 6 and 9 of the Planning and Development Regulations 2001 (as amended)
3. The nature, extent and purpose of the works,

NOW THEREFORE Kildare County Council, in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended), hereby decides that -

- The installation of ventilation hoods onto the external facade to serve internal classroom MHVR units.
- The repainting of existing facade.

IS development and IS EXEMPTED development pursuant to Section 4 1(h) of the Planning and Development Act as amended and of Article 6, Article 9 of the Planning and Development Regulations as amended.

- The changing block with new insulated bitumen roof laid to falls and rooflights.
- The replacement of the existing flat roofs and rooflights of the gym hall.

IS NOT development pursuant to Section 4 1(h) of the Planning and Development Act as amended and of Article 6, Article 9 of the Planning and Development Regulations as amended.

And

- The works to install 2 x air source heat pumps.
- The replacement of existing double height external timber screens & doors to gym hall with curtain walling system with solid aluminium spandrels and doors.
- The replacement of existing high level external single glazed system to the gym hall with double glazed curtain wall system.
- The installation of a vandal resistant EVC car charging local electrical enclosure, distribution board and dual car charging outlet.

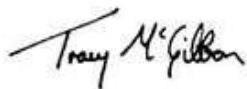
IS development and IS NOT EXEMPTED development pursuant to Article 6 and 9 of the Planning and Development Regulations 2001 as amended.

Please note that any person issued with a declaration under Section 5 of the Planning and Development Act 2000 (as amended) may on payment to the Board of the prescribed fee, refer a declaration to An Bord Pleanála within 4 weeks of the issuing of the decision.

Signed:



Planner: Cian Buckley
Date: 01/05/2025



Tracy McGibbon
Senior Executive Planner
06/05/2025

Appendix 1: Appropriate Assessment Screening

**APPROPRIATE ASSESSMENT SCREENING REPORT
AND
DETERMINATION**

(A) Project Details	
Planning File Ref	ED1188
Applicant name	Coláiste Lorcaín
Development Location	Coláiste Lorcaín, Castledermot, Co. Kildare
Site size	2.01ha
Application accompanied by an EIS (Yes/NO)	No

Distance from Natura 2000 site in km	The nearest special area of conservation is the River Barrow and River Nore SAC approximately 155m southeast of the subject site.
<p>Description of the project/proposed development –</p> <p>The proposed developments comprise of repairs, replacements and improvements to be made to 2 separate parts of Coláiste Lorcaín in Castledermot.</p> <p>Block A</p> <p>Installation of ventilation hoods onto the external facade to serve internal classroom MHVR units.</p> <p>Block C</p> <p>The replacement of existing high level external single glazed system to the gym hall with double glazed curtain wall system, replacement of existing double height external timber screens & doors to gym hall with curtain walling system with solid aluminium spandrels and doors, replacement of existing windows, doors and glazed screens to the adjacent changing block facade with similar, repainting of existing facade.</p> <p>Replacement of the existing flat roofs and rooflights of the gym hall and changing block with new insulated bitumen roof laid to falls and rooflights. The works will also include installation of an air source heat pump.</p>	

(B) Identification of Natura 2000 sites which may be impacted by the proposed development	
	<p>Yes/No</p> <p>If answer is yes, identify list name of Natura 2000 site</p>

			likely to be impacted.
1	<p>Impacts on sites designated for freshwater habitats or species.</p> <p><u>Sites to consider:</u> River Barrow and Nore, Rye Water/Carton Valley, Pollardstown Fen, Ballynafagh lake</p>	<p><i>Is the development within a Special Area of Conservation whose qualifying interests include freshwater habitats and/or species, or in the catchment (upstream or downstream) of same?</i></p>	No
2	<p>Impacts on sites designated for wetland habitats - bogs, fens, marshes and heath.</p> <p><u>Sites to consider:</u> River Barrow and Nore, Rye Water/Carton Valley, Pollardstown Fen, Mouds Bog, Ballynafagh Bog, Red Bog, Ballynafagh Lake</p>	<p><i>Is the development within a Special Area of Conservation whose qualifying interests include wetland habitats (bog, marsh, fen or heath), or within 1 km of same?</i></p>	Yes
3	<p>Impacts on designated terrestrial habitats.</p> <p><u>Sites to consider:</u> River Barrow and Nore, Rye Water/Carton Valley, Pollardstown Fen, Ballynafagh Lake</p>	<p><i>Is the development within a Special Area of Conservation whose qualifying interests include woodlands, dunes or grasslands, or within 100m of same?</i></p>	No
4	<p>Impacts on birds in SPAs</p> <p><u>Sites to consider:</u> Poulaphouca Reservoir</p>	<p><i>Is the development within a Special Protection Area, or within 5 km of same?</i></p>	No

(C) Identification of Potential Impacts on Habitats and Birds.		
1	<p>Impacts on designated rivers, streams, lakes and freshwater dependant habitats and species.</p> <p><i>Answer the following if the answer to question 1 in table B was YES</i></p> <p><i>Does the development involve any of the following:</i></p>	
1.1	Works within the boundary of a Special Area of Conservation excluding small extensions/alterations to existing buildings.	
1.2	Discharge to surface water or groundwater within 5km of SAC.	
1.3	Abstraction from surface water or groundwater within 5km of SAC.	
1.4	Removal of topsoil within 500m of watercourses	
1.5	Infilling or raising of ground levels within 100m of watercourses	

1.6	Construction of drainage ditches within 1km of SAC.	
1.7	Installation of wastewater treatment systems; percolation areas; septic tanks within 500 m of watercourses	
1.8	Construction within a floodplain or within an area liable to flood	
1.9	Crossing or culverting of rivers or streams within 5km of SAC	
1.1 0	Storage of chemicals, hydrocarbons or organic wastes within 1km of a watercourse	
1.1 1	Development of a large scale which involves the production of an EIS	
1.1 2	Development of quarries/mines	
1.1 3	Development of windfarms	
1.1 4	Development of pumped hydroelectric stations	

1.1 5	Construction of roads or other infrastructure on peat habitats within 1km rivers, streams, lakes and freshwater dependant habitats	
2	<p>Impacts on designated wetlands - bogs, fens, marshes and heath.</p> <p><i>Answer the following if the answer to question 2 in table B was YES</i></p> <p><i>Does the development involve any of the following:</i></p>	
2.1	Works within the boundary of a Special Area of Conservation excluding small extensions/alterations to existing buildings.	NO
2.2	Construction of roads or other infrastructure on peat habitats within 1km of bog, marsh, fen or heath habitat within a Natura 2000 site	NO
2.3	Development of a large scale within 1km of bog, marsh, fen or heath habitat within a Natura 2000 site which involves the production of an EIS	NO

3	<p>Impacts on other designated terrestrial habitats (woodland, grasslands)</p> <p><i>Please answer the following if the answer to question 3 in table B YES</i></p>
---	---

	<i>Does the development involve any of the following:</i>	
3.1	Works within the boundary of a Special Area of Conservation.	
3.2	Development within 200m of Natura 2000 site with woodland, grassland or coastal habitats.	
3.3	Development of a large scale within 1km of Natura 2000 site with woodland, grassland or coastal habitats which involves the production of an EIS.	
4	Impacts on birds in SPAs <i>Answer the following if the answer to question 4 in table B was YES</i> <i>Does the development involve any of the following:</i>	
4.1	Works within the boundary of a Special Protection Area excluding small extensions/alterations to existing buildings.	
4.2	Erection of wind turbines within 5km of an SPA.	
4.3	Proposed discharges directly to SPA	
4.4	Development of cycleways or walking routes within 100m of SPA	

--	--	--

Conclusion:

If the answer to all of the above is **No**, significant impacts can be ruled out for habitats and bird species.

No further assessment in relation to habitats or birds is required.

If the answer is **Yes** refer to the relevant sections of **C**.

(G) SCREENING CONCLUSION STATEMENT		
<i>Selected relevant category for project assessed by ticking box.</i>		
1	AA is not required because the project is directly connected with/necessary to the conservation management of the site	
2	No potential significant affects/AA is not required	X
3	Significant effects are certain, likely or uncertain. Seek a Natura Impact Statement Reject proposal. (Reject if potentially damaging/inappropriate)	
Justify why it falls into relevant category above (based on information in above tables)		

Having regard to the scale and nature of the proposed works, it is not considered that there will be any impact on the nearest SAC.

Name:	Cian Buckley
Position:	Graduate Planner
Date:	01/05/2025

Building Design Partnership

Blackhall Green, Dublin 7 Ireland

Tel: +353 (0)1 474 0600

BDP.

Drawing/Document Register –

Section 5 Application

Project: RePowerEU Pathfinders Programme – Lot 7.3
Colaiste Lorcaín (Kildare)

Project No: P3004467

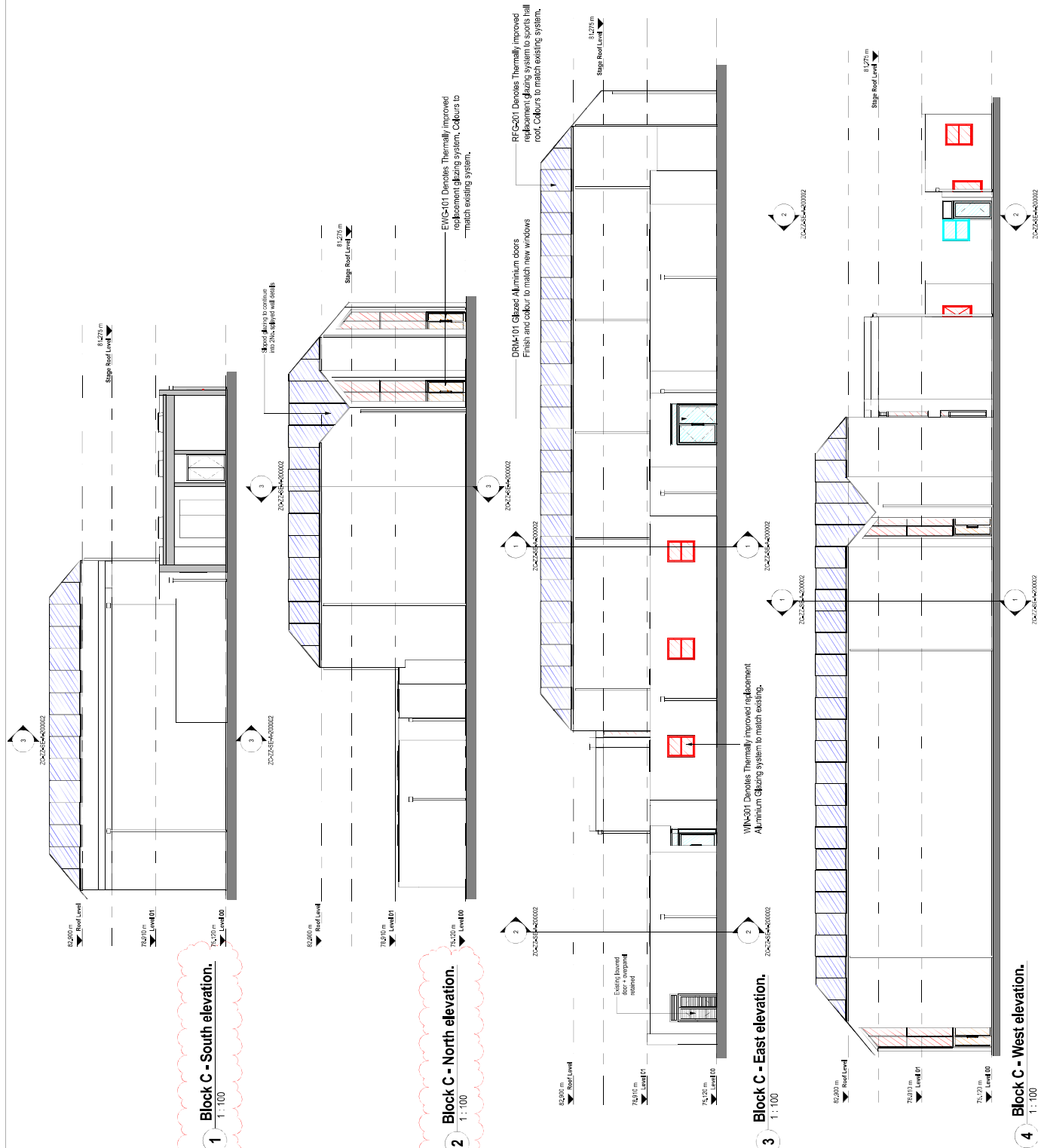
Date: 25th April 2025

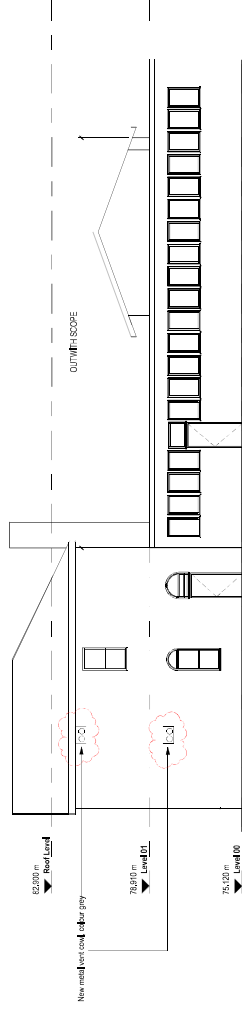
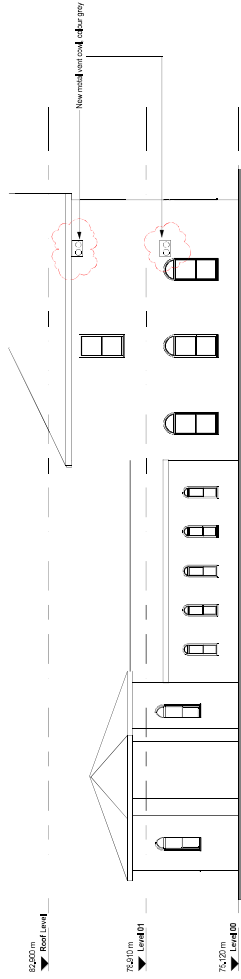
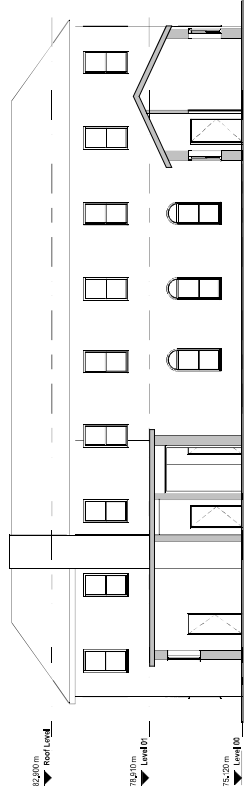
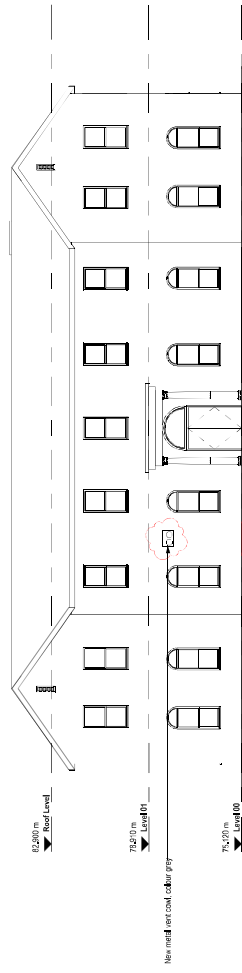
Sender: Elliott Ballam

Drawing Series	Drawing Title	Scale	Rev	Date of Issue
	SITE LOCATION			
07CLR-BDP-XX-XX-PL-A-PP0001	SITE LOCATION PLAN	1:2500@A3	P01	28.01.25
07CLR-BDP-XX-XX-PL-A-PP0002	SITE LAYOUT PLAN	1:2500@A3	P03	25.04.25
	EXISTING BUILDING			
BLOCK A				
07CLR-BDP-ZA-00-PL-A-PP0001	BLOCK A - EXISTING GA PLAN – LEVEL 00	1:100@A1	P01	28.01.25
07CLR-BDP-ZA-R1-PL-A-PP0001	BLOCK A - EXISTING ROOF PLAN	1:100@A1	P01	28.01.25
07CLR-BDP-ZA-XX-EL-A-PP0001	BLOCK A - EXISTING ELEVATIONS	1:100@A1	P01	28.01.25
BLOCK C				
07CLR-BDP-ZC-00-PL-A-PP0001	BLOCK C - EXISTING GA PLAN – LEVEL 00	1:100@A1	P01	28.01.25
07CLR-BDP-ZC-R1-PL-A-PP0001	BLOCK C - EXISTING ROOF PLAN	1:100@A1	P01	28.01.25
07CLR-BDP-ZC-ZZ-SE-A-PP0001	BLOCK C – EXISTING GA SECTIONS	1:100@A1	P01	28.01.25
07CLR-BDP-ZC-XX-EL-A-PP0001	BLOCK C - EXISTING ELEVATIONS	1:100@A1	P02	25.04.25
	PROPOSED WORKS			
BLOCK A				
07CLR-BDP-ZA-XX-EL-A-PP0002	BLOCK A - PROPOSED ELEVATIONS	1:100@A1	P02	25.04.25

BLOCK C				
07CLR-BDP-ZC-00-PL-A-PP0002	BLOCK C – BUILDING FABRIC UPDATES SCOPING PLAN – LEVEL 00	1:100@A1	P01	28.01.25
07CLR-BDP-ZC-01-PL-A-PP0002	BLOCK C – BUILDING FABRIC UPDATES SCOPING PLAN – LEVEL 01	1:100@A1	P01	28.01.25
07CLR-BDP-ZC-RP-PL-A-PP0001	BLOCK C – ROOF SCOPE PLAN	1:100@A1	P01	28.01.25
07CLR-BDP-ZC-XX-SE-A-PP0002	BLOCK C – PROPOSED GA SECTIONS	1:100@A1	P01	28.01.25
07CLR-BDP-ZC-XX-EL-A-PP0002	BLOCK C – PROPOSED BUILDING FABRIC UPGRADE ELEVATIONS	1:100@A1	P02	25.04.25
BOTH BLOCKS				
07CLR-BDP-XX-XX-EL-A-PP0003	BLOCKS A & C – PROPOSED ELEVATIONS OF HEAT PUMP ENCLOSURES	1:100@A1	P01	25.04.25

Block C	SCALE	DATE
Proposed Building Fabric Upgrade	1:100	28/01/25
Elevations		



[illegible]

NOTES

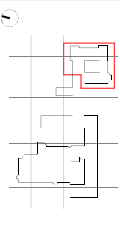
Row's models have been developed using a visual interpretation of the point cloud survey information. All dimensions, structural openings and wall thickness should be checked on site.

NOTES:

Re-painting of existing facades is limited to only localised areas around the proposed facade works (i.e. ventilation hood installations and window / door replacements). The facades are predominantly red brickwork, but where works are carried out to facades with an existing painted finish, the paint finish will match the existing school appearance.

External mounted ventilation hoods to serve classroom MHH units.
Vent material and finish:
Powder coated aluminum / colour: Grey
Vent dimension: 300mm x 500mm x 100mm deep

P02	Drawing updated to include vent locations and note regarding repairing added	RMI	EM	25.04.25
P01	Section 5 - Exempt Development Planning Application	AS	SG	28.01.25



An Roinn Oideachais
Department of Education

B.D.P.

Blackhall Greer
Dutton 7
Ireland
T +353 (0)1 474 0800
www.bdg.com

rain

800-368-5848
P3004167

Block A

07CLR-BDR-ZA-XX-EL-A-PP0002	28/01/2025
P02	

Ref: ED/1188

BDP.

25 April 2025

Kildare CoCo Planning Department

Devoy Park, Naas,

Co. Kildare

W91 X77F

BDP, Blackhall Green, Dublin 7

Ireland, D07 V0RF

T +353 [0]1 474 0600

bdp.com

RE: Further Information Response pertaining to our Application for a Declaration for Exempted Development under Section 5 of the Planning and Development Act 2000 (as amended) at Colaiste Lorcaín, Castledermot, Co. Kildare (ED/1188)

Dear Sir/Madam

We acknowledge receipt of your letter (ref: ED/1188) received on the 24th April 2025 outlining that further information is required in order for Kildare CoCo to properly assess our Section 5 Declaration Application for Colaiste Lorcaín (application dated 30th January 2025).

We must note that this request has been received twelve weeks following our submission, significantly outside the statutory four-week response period, and given the absence of any timely response, we proceeded to tender and now have a valid tender in place, ready to proceed to contract.

Nonetheless, we hereby provide said further information, and outline below our detailed responses to the items raised within the letter received:

- | |
|--|
| <p>1. Very little detail has been submitted to support the determination for the 'repainting of existing façade'. Applicant is requested to detail the extent of the repainting of the existing façade.</p> |
|--|

BDP Comment: The detailed extent of repainting of the existing façade can be noted as being limited to only localised areas around the proposed façade works (i.e. ventilation hood installations and window / door replacements). The facades are predominantly red brickwork, but where works are carried out to facades with an existing painted finish, the paint finish will match the existing school appearance.

For clarification purposes, notes have been added to the proposed elevational drawings.

Please refer to Drawings:

- "07CLR-BDP-ZA-XX-EL-A-PP0002 (REV_P02)"
- "07CLR-BDP-ZC-XX-EL-A-PP0002 (REV_P02)"

2. Very little detail has been submitted to support the determination for the 'installation of ventilation hoods onto the external façade to serve internal classroom MVHR units. No information has been submitted to show either the size of the units or their location on the building. Applicant is requested to submit elevational drawings of these items, with dimensions.

BDP Comment: A revised version of the "Block A – Proposed Elevations" Drawing is appended to this correspondence which provides greater detail regarding the size and location of the MVHR associated ventilation hoods on the existing buildings. It can be noted that there are 2no. ventilation hoods located on the North & South Elevations respectively, with 1no. ventilation hood located on the East Elevation. These ventilation hoods are 300mm (H) x 500mm (W) x 100mm (D) in size, and are to be grey powder coated aluminium in appearance. For clarification purposes, it can be noted that there are no MVHR units and associated ventilation hoods on Block C.

Please refer to Drawing: "07CLR-BDP-ZA-XX-EL-A-PP0002 (REV_P02)"

3. Very little detail has been submitted to support the determination for the installation of the air source heat pump. No information has been submitted to show either the size, height or length of these items (elevational drawings). Applicant is requested to submit elevational drawings of these items, with dimensions.

BDP Comment: A revised version of the "Site Layout Plan" Drawing is appended to this correspondence which provides greater detail regarding the size, height and length of the 2nr proposed Air Source Heat Pumps as well as their associated enclosures which are located in proximity to Block A and Block C respectively. It can be noted that the ASHP adjacent to Block A is located within an existing service yard which has a 3.1m high masonry boundary wall which will conceal the visibility of same. The ASHP adjacent to Block C is discretely located to the rear of the Gymnasium on existing soft landscaping which is directly accessible from the existing footpath around the perimeter of the building.

As requested, a new elevational drawing "Block A & C – Proposed Elevations of Heat Pump Enclosures" is appended to this correspondence which captures these items within the context of the existing school. These elevational drawings capture the ASHP unit size as well as the extent of the 2.8m high acoustic screening.

Please refer to Drawings:

- "07CLR-BDP-XX-XX-PL-A-PP0002 (REV_P03)"
- "07CLR-BDP-XX-XX-EL-A-PP0003 (REV_P01)"

4. Site Layout Plan appears to indicate 2x additional items on top of that described in the description which is the subject of this declaration request. A second heat pump to the north of Block A has been outlined and a vandal resistant EVC car charging local electrical enclosure, distribution board and dual car charging outlet. The Applicant is requested to clarify as to why these items have been included in the site layout plan submitted with the Section 5 Declaration.

BDP Comment: The 2x additional items noted on top of that described in the application form description (i.e. second heat pump to the north of Block A and the vandal resistant EVC car charging local electrical enclosure, distribution board and dual car charging outlet) are to be considered as part of this Section 5 Declaration. It can be confirmed that these items are located within the Site Application Boundary.

Please refer to Drawing: "07CLR-BDP-XX-XX-PL-A-PP0002 (REV_P03)"

We trust that the commentary contained within this letter and the appended drawings (listed below) provides the sufficient further information required in order for our Section 5 Declaration to be assessed.

- 07CLR-BDP-XX-XX-PL-A-PP0002 - Site Layout Plan (REV_P03)
- 07CLR-BDP-ZA-XX-EL-A-PP0002 - Block A – Proposed Elevations (REV_P02)
- 07CLR-BDP-ZC-XX-EL-A-PP0001 - Block C – Existing Elevations (REV_P02)
- 07CLR-BDP-ZC-XX-EL-A-PP0002 - Block C – Proposed Building Fabric Upgrade Elevations (REV_P02)
- 07CLR-BDP-XX-XX-EL-A-PP0003 - Block A & C – Proposed Elevations of Heat Pump Enclosures (REV_P01)

Please be advised that this project is part of a RePowerEU Programme with a one-off funding opportunity that must be delivered this summer 2025 in order to meet the programme requirements. Any further delays to the commencement of works will result in the project not being available to proceed in the timeframe required thus losing a significant deep retrofit and investment opportunity for Colaiste Lorcaín.

Given the requirement for these works to be carried out during this upcoming summer and the delays already experienced in this Section 5 process, we kindly request that a response is provided in a timely manner. Please note that ourselves and the Department of Education (cc'd) are available to meet to discuss and expedite this process.

Should you have any queries please do not hesitate to contact me otherwise we welcome timely receipt of the Council's determination.

Yours sincerely



Elliott Ballam

Associate Architect

BDP

Direct Line: +353 [0]1 474 0644

E-Mail: elliott.ballam@bdp.com

Cc Scott Geoghan (BDP)

Cc Shane Fleming (KSN)

Cc Diarmuid Waters (RRPM)

Cc Maeve Harney (DoE)

Cc David Beagon (DoE)



Comhairle Contae Chill Dara

Kildare County Council

Date: 24th April 2025.
Our Ref: ED/1188.

Eric Gaughan,
Colaiste Lorcaín,
C/o BDP,
Blackhall Green,
Dublin 7
D07 V0RF

RE: Application for a Declaration of Exempted Development under Section 5 of the Planning and Development Act 2000 (as amended) at Coláiste Lorcaín, Castledermot, Co. Kildare.

Dear Sir/Madam,

I refer to your application for a Section 5 Declaration received on 30th January 2025. The following further information is required to properly assess your application.

1. Very little detail has been submitted to support the determination for the 'repainting of existing façade'. Applicant is requested to detail the extent of the repainting of the existing façade.
2. Very little detail has been submitted to support the determination for the 'installation of ventilation hoods onto the external façade to serve internal classroom MVHR units. No information has been submitted to show either the size of the units or their location on the building. Applicant is requested to submit elevational drawings of these items, with dimensions.
3. Very little detail has been submitted to support the determination for the installation of the air source heat pump. No information has been submitted to show either the size, height or length of these items (elevational drawings). Applicant is requested to submit elevational drawings of these items, with dimensions.
4. Site Layout Plan appears to indicate 2x additional items on top of that described in the description which is the subject of this declaration request. A second heat pump to the north of Block A has been outlined and a vandal resistant EVC car charging local electrical enclosure, distribution board and dual car charging outlet. The Applicant is requested to clarify as to why these items have been included in the site layout plan submitted with the Section 5 Declaration.





Comhairle Contae Chill Dara

Kildare County Council

The time period for the Council's determination shall commence upon receipt of the above information.

Yours sincerely,

pp 
Senior Executive Officer
Planning Department



KILDARE COUNTY COUNCIL



PLANNING & STRATEGIC DEVELOPMENT DEPARTMENT

Section 5 referral & declaration on development & exempted development

Planning & Development Act 2000 (as amended)

Reference No. ED/1188

Name Of Applicant(s):	Coláiste Lorcaín
Address Of Development:	Coláiste Lorcaín, Castledermot, Co. Kildare
Development Description:	Repair and maintenance works to existing school building associated with energy reduction programme
Due date	27 th February 2025

Introduction

This is a request for a **DECLARATION** under Section 5(1) of the Planning and Development Act 2000 (as amended) to establish whether under Section 5 of the Act the works associated with Block A and C of Coláiste Lorcaín to repair, replace and improve the structures in line with the energy reduction programme, is or is not exempted development.

Site Location

The site is located in the centre of Castledermot on the western side of the R448, Abbey Street. The school itself is comprised of a cluster of 2 storey structures located to the rear (southwest) of the Church of the Assumption. The school grounds also encompass some sports field immediately to the north.

Description of Proposed Development

The proposed developments comprise of repairs, replacements and improvements to be made to 2 separate parts of Coláiste Lorcaín in Castledermot.

Block A

Installation of ventilation hoods onto the external facade to serve internal classroom MHVR units.

Block C

The replacement of existing high level external single glazed system to the gym hall with double glazed curtain wall system, replacement of existing double height external

timber screens & doors to gym hall with curtain walling system with solid aluminium spandrels and doors, replacement of existing windows, doors and glazed screens to the adjacent changing block facade with similar, repainting of existing facade.

Replacement of the existing flat roofs and rooflights of the gym hall and changing block with new insulated bitumen roof laid to falls and rooflights. The works will also include installation of an air source heat pump.



Fig 1: Site Location and context



Fig 2: Aerial view of subject site (GIS)

Planning History

Planning reference **07/888**: Planning permission granted to Sean Ashe for the provision of 2 new science rooms and ancillary storage areas in existing canteen

alteration to existing stair wells provision of new external fire escape stairs provision of new fire escape door off existing stairwell etc

Relevant Legislative Background

Planning and Development Act 2000 (as amended)

Section 2(1)

"alteration" includes—

(a) plastering or painting or the removal of plaster or stucco, or

(b) the replacement of a door, window or roof,

that materially alters the external appearance of a structure so as to render the appearance inconsistent with the character of the structure or neighbouring structures;

'works' includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3(1)

In this Act, 'development' means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4(1)

The following shall be exempted development for the purposes of the Act-

(h) development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

Section 5(7) EIA Screening

The proposed development is not specified in Part 2 of Schedule 5 of the Planning and Development Regulations 2001(as amended). In any event, it is considered, having regard to nature, size and location, the proposed development would not be likely to have significant effects on the environment. Therefore, EIA is not required.

Planning and Development Regulations 2001 (as amended)

Article 6(1)

Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

Article 9 (1)(a)(i)

Restrictions on exemption.

9. (1) *Development to which article 6 relates shall not be exempted development for the purposes of the Act—*

(a) *if the carrying out of such development would*

- i) *contravene a condition or be inconsistent with a use of permission*
- (ii) *material widening of a means of access to a public road*
- (iii) *traffic hazard or obstruction of road user.....*
- (iiia) *hazardous glint and/or glare....*
- (iv) *infringes building line*
- (v) *works under a public road (other than certain infrastructural works) ...*
- (vi) *interfere with the character of a landscape/view of special interest*
- (vii) *excavation/alteration/demolition of features/places/caves.....*
- (viiA) *excavation, alteration or demolition of any archaeological monument ...*
- (viiB) *likely to have a significant effect on the integrity of a European site*
- (viiC) *likely to have an adverse impact on a a natural heritage area ..*
- (viii) *extension, alteration, repair or renewal of an unauthorised structure or use....*
- (ix) *demolition/alteration of building/structure, precluding a use where it is an objective for the structure to remain available for that use....*
- (x) *consist of the fencing/enclosure of any land habitually used by the public*
- (xi) *obstruct any public right of way...*
- (xii) *exterior works materially affecting the character of an ACA...*

The full criteria laid out under Article 9 must be considered as part of the assessment of this application.

Class 57

The extension of a school, where the school has not been previously extended under a CLASS 57 exemption, by the construction or erection of an extension to the side or rear of the school.

1. *The floor area of any such extension shall not exceed 210 square metres.*
2. *No such structure shall be above the ground floor.*
3. *Any extension shall be a distance of not less than 2 metres from any party boundary.*
4. *An exemption under this class shall only be availed of once.*
5. *Such structure shall comply with the Department of Education Primary and Post Primary Technical Guidance Documents for the time being in force.*

Assessment

The proposed developments comprise of repairs, replacements and improvements to be made to 2 separate parts of Coláiste Lorcain in Castledermot.

Block A

- **Installation of ventilation hoods onto the external facade to serve internal classroom MHVR units.**

As per section 4(1) of the Planning and Development Act, should the proposed ventilation hoods materially affect the *appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures*, then they would not be considered to be exempted development. The

proposed ventilation hoods do not appear to be illustrated on the documents submitted to the Planning Authority. It is unclear as to the quantity or size of the units proposed and their proposed position(s) on the building. As a result, a determination as to whether the *installation of ventilation hoods onto the external facade to serve the internal classroom MVHR units* cannot yet be made. For this part of the declaration **further information** will be required.

Block C

- **The replacement of existing high level external single glazed system to the gym hall with double glazed curtain wall system.**

The replacement of existing high level external single glazed system to the gym hall with double glazed curtain wall system will materially alter the external appearance of the structure and therefore is considered to be works as stated in Section 2(1) of the Planning and Development Act 2000 (as amended) and are therefore deemed to be development. As per **Article 9(1)(a)(i)** of the Planning and Development Regulations 2001 none of said *restrictions on exemption* apply in this case therefore the works are considered to be exempted development.

- **The replacement of existing double height external timber screens & doors to gym hall with curtain walling system with solid aluminium spandrels and doors.**

The replacement of the existing double height external timber screens & doors to gym hall with curtain walling system with solid aluminium spandrels and doors, are deemed to be works under the definition of 'alteration' as stated in Section 2(1) of the Planning and Development Act 2000 (as amended) because the replacement of the existing double height external timber screens & doors to the gym hall with a curtain walling system with solid aluminium spandrels and doors constitutes a material alteration of the external appearance of the structure potentially rendering the appearance inconsistent with the character of the structure and of neighbouring structures. These items are deemed to be 'Works' as stated in Section 2(1) of the Planning and Development Act 2000 (as amended) and are therefore deemed to be development. As per **Section 4(1) (h)** these items due to the fact that they will likely alter the external appearance of the structure **are not exempted** development.

- **The replacement of existing windows, doors and glazed screens to the adjacent changing block facade with similar.**

In Section 2(1) of the Planning and Development Act 2000 "alteration" includes,

(a) plastering or painting or the removal of plaster or stucco, or

(b) the replacement of a door, window or roof,

that materially alters the external appearance of a structure so as to render the appearance inconsistent with the character of the structure or neighbouring structures;

Under this definition the replacement of the existing windows, doors and glazed screens of the changing block facade with similar would not materially alter the external appearance of the structure so as to render the appearance inconsistent with the remainder of the structure or any surrounding structures. Therefore, these items

are not deemed to be works as defined in **Section 2(1)** of the Planning and Development Act 2000 and as a result are not deemed to be development.

- **The repainting of existing facade.**

It appears as though few details as to the extent of repainting of the existing facade have been submitted. It is noted that the façade of the existing school encompasses a large surface area. It is unclear if the entire structure is the subject of the 'repainting of existing façade'. The repainting (alteration) may or may not be works – this depends on whether or not the painting would materially alter the external appearance. The existing structures have mostly red brick external finishes. It cannot be determined if this item is 'Works' or 'Development'. For this part of the declaration **further information** will be required.

- **Replacement of the existing flat roofs and rooflights of the gym hall.**

The replacement of the existing flat roofs and rooflights of the gym hall is illustrated in both the Block C Existing Roof Plan and the Block C Proposed Plans. The changes appear to be straightforward replacements of the existing flat roofs and rooflights. As per **Section 2(1) of the Act** under the definition of '**alteration**' if the replacement of windows and a roof will not materially alter the external appearance of a structure to render the appearance inconsistent with the character of the structure or any neighbouring structures then it is not considered to be 'works'. As a result, this item is not deemed to be development.

- **The changing block with new insulated bitumen roof laid to falls and rooflights.**

Having regard to the documents submitted to the Planning Authority, it is noted that the new roofing design on the Changing Block shall match the existing design and utilise all existing rainwater points. Again, as per **Section 2(1)** of the Act under the definition of 'alteration', as there would be no material alteration to the external appearance of the structure then it is considered that this item is not *works* and therefore not deemed to be *development*.

- **The works will also include installation of an air source heat pump.**

There appears to be 2x proposed air source heat pumps included on the site layout submitted. The first of these will be situated to the northwest of Block C. The second to the north of the front facade of Block A. These will both be enclosed behind a 2.8m high screen. Again, no further details of the size, height and form of the structures have been supplied, therefore it is not possible to decipher if these items constitute 'works' or 'exempted development'. **Further information** is required for this point.

Note:

The Site Layout Plan appears to indicate some additional items on top of that described in the description which is the subject of this declaration request. These are as follows;

- A total of 2 heat pumps where only 1x was mentioned in the development description (1x in Block A not referred to).
- A proposed vandal resistant EVC car charging local electrical enclosure, distribution board and dual car charging outlet.

Conclusion

There are some outstanding issues to clarify regarding the repainting of the existing facade, the installation of the ventilation hoods and an air source heat pump.

Recommendation

It is recommended that **further information** be requested as follows:

The applicant is requested to fully clarify the full extent of the proposed works as there are discrepancies between the details noted in the application form and the site layout plan:

- Very little detail has been submitted to support the determination for the 'repainting of existing façade'. It is unclear if the entire school building is the subject of the 'repainting of existing façade'. The applicant is requested to detail the extent of the repainting of the existing façade.
- Very little detail has been submitted to support the determination for the 'installation of ventilation hoods onto the external façade to serve internal classroom MVHR units. It is noted that no information has been submitted to show either the size of the units or their location on the building. For a determination to be made the applicant is requested to submit elevational drawings of these items, with dimensions.
- Very little detail has been submitted to support the determination for the installation of the air source heat pump. It is noted that no information has been submitted to show either the size, height or length of these items (elevational drawings). For a determination to be made the applicant is requested to submit elevational drawings of these items, with dimensions.

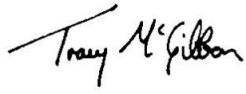
The Site Layout Plan appears to indicate 2x additional items on top of that described in the description which is the subject of this declaration request. A second heat pump to the north of Block A has been outlined and also a vandal resistant EVC car charging local electrical enclosure, distribution board and dual car charging outlet. The Applicant is requested to clarify as to why these items have been included in the site layout plan submitted with the Section 5 Declaration.

Signed:

Planner: Cian Buckley

Date: 08/04/2025



A handwritten signature in black ink, reading "Tracy McGibbon". The signature is written in a cursive style with a large initial 'T' and 'M'.

Tracy McGibbon
Senior Executive Planner
23/04/2025

Appendix 1: Appropriate Assessment Screening



**APPROPRIATE ASSESSMENT SCREENING REPORT
AND
DETERMINATION**

(A) Project Details

Planning File Ref	ED1188
Applicant name	Coláiste Lorcaín
Development Location	Coláiste Lorcaín, Castledermot, Co. Kildare
Site size	2.01ha
Application accompanied by an EIS (Yes/NO)	No
Distance from Natura 2000 site in km	The nearest special area of conservation is the River Barrow and River Nore SAC approximately 155m southeast of the subject site.
Description of the project/proposed development – The proposed developments comprise of repairs, replacements and improvements to be made to 2 separate parts of Coláiste Lorcaín in Castledermot.	

Block A

Installation of ventilation hoods onto the external facade to serve internal classroom MHVR units.

Block C

The replacement of existing high level external single glazed system to the gym hall with double glazed curtain wall system, replacement of existing double height external timber screens & doors to gym hall with curtain walling system with solid aluminium spandrels and doors, replacement of existing windows, doors and glazed screens to the adjacent changing block facade with similar, repainting of existing facade.

Replacement of the existing flat roofs and rooflights of the gym hall and changing block with new insulated bitumen roof laid to falls and rooflights. The works will also include installation of an air source heat pump.

(B) Identification of Natura 2000 sites which may be impacted by the proposed development

			Yes/No If answer is yes, identify list name of Natura 2000 site likely to be impacted.
1	Impacts on sites designated for freshwater habitats or species. <u>Sites to consider:</u> River Barrow and Nore, Rye Water/Carton Valley, Pollardstown Fen, Ballynafagh lake	<i>Is the development within a Special Area of Conservation whose qualifying interests include freshwater habitats and/or species, or in the catchment (upstream or downstream) of same?</i>	No
2	Impacts on sites designated for wetland habitats - bogs, fens, marshes and heath. <u>Sites to consider:</u> River Barrow and Nore, Rye Water/Carton Valley, Pollardstown Fen, Mouds	<i>Is the development within a Special Area of Conservation whose qualifying interests include wetland habitats (bog, marsh, fen or heath), or within 1 km of same?</i>	Yes

	Bog, Ballynafagh Bog, Red Bog, Ballynafagh Lake		
3	Impacts on designated terrestrial habitats. <u>Sites to consider:</u> River Barrow and Nore, Rye Water/Carton Valley, Pollardstown Fen, Ballynafagh Lake	<i>Is the development within a Special Area of Conservation whose qualifying interests include woodlands, dunes or grasslands, or within 100m of same?</i>	No
4	Impacts on birds in SPAs <u>Sites to consider:</u> Poulaphouca Reservoir	<i>Is the development within a Special Protection Area, or within 5 km of same?</i>	No

(C) Identification of Potential Impacts on Habitats and Birds.

1	Impacts on designated rivers, streams, lakes and freshwater dependant habitats and species. <i>Answer the following if the answer to question 1 in table B was YES</i> <i>Does the development involve any of the following:</i>	
1.1	Works within the boundary of a Special Area of Conservation excluding small extensions/alterations to existing buildings.	
1.2	Discharge to surface water or groundwater within 5km of SAC.	
1.3	Abstraction from surface water or groundwater within 5km of SAC.	
1.4	Removal of topsoil within 500m of watercourses	
1.5	Infilling or raising of ground levels within 100m of watercourses	
1.6	Construction of drainage ditches within 1km of SAC.	
1.7	Installation of wastewater treatment systems; percolation areas; septic tanks within 500 m of watercourses	
1.8	Construction within a floodplain or within an area liable to flood	

1.9	Crossing or culverting of rivers or streams within 5km of SAC	
1.1 0	Storage of chemicals, hydrocarbons or organic wastes within 1km of a watercourse	
1.1 1	Development of a large scale which involves the production of an EIS	
1.1 2	Development of quarries/mines	
1.1 3	Development of windfarms	
1.1 4	Development of pumped hydroelectric stations	
1.1 5	Construction of roads or other infrastructure on peat habitats within 1km rivers, streams, lakes and freshwater dependant habitats	
2	Impacts on designated wetlands - bogs, fens, marshes and heath. <i>Answer the following if the answer to question 2 in table B was YES</i> <i>Does the development involve any of the following:</i>	
2.1	Works within the boundary of a Special Area of Conservation excluding small extensions/alterations to existing buildings.	NO
2.2	Construction of roads or other infrastructure on peat habitats within 1km of bog, marsh, fen or heath habitat within a Natura 2000 site	NO
2.3	Development of a large scale within 1km of bog, marsh, fen or heath habitat within a Natura 2000 site which involves the production of an EIS	NO

3	Impacts on other designated terrestrial habitats (woodland, grasslands) <i>Please answer the following if the answer to question 3 in table B YES</i> <i>Does the development involve any of the following:</i>	
3.1	Works within the boundary of a Special Area of Conservation.	

3.2	Development within 200m of Natura 2000 site with woodland, grassland or coastal habitats.	
3.3	Development of a large scale within 1km of Natura 2000 site with woodland, grassland or coastal habitats which involves the production of an EIS.	
4	Impacts on birds in SPAs Answer the following if the answer to question 4 in table B was YES <i>Does the development involve any of the following:</i>	
4.1	Works within the boundary of a Special Protection Area excluding small extensions/alterations to existing buildings.	
4.2	Erection of wind turbines within 5km of an SPA.	
4.3	Proposed discharges directly to SPA	
4.4	Development of cycleways or walking routes within 100m of SPA	

Conclusion:

If the answer to all of the above is **No**, significant impacts can be ruled out for habitats and bird species.

No further assessment in relation to habitats or birds is required.

If the answer is **Yes** refer to the relevant sections of **C**.

(G) SCREENING CONCLUSION STATEMENT		
<i>Selected relevant category for project assessed by ticking box.</i>		
1	AA is not required because the project is directly connected with/necessary to the conservation management of the site	
2	No potential significant affects/AA is not required	X
3	Significant effects are certain, likely or uncertain. Seek a Natura Impact Statement Reject proposal. (Reject if potentially damaging/inappropriate)	
Justify why it falls into relevant category above (based on information in above tables)		
Having regard to the scale and nature of the proposed works, it is not considered that there will be any impact on the nearest SAC.		

Name:	Cian Buckley
Position:	Graduate Planner
Date:	08/04/2025

COMHAIRLE CONTAE CHILL DARA

KILDARE COUNTY COUNCIL



Director of Services Order

I, Alan Dunney, Director of Services, am duly authorised and delegated by Chief Executive's Order number: CE48043 to make the following Order in accordance with Section 154 of the Local Government Act, 2001, as amended.

ORDER NO: DO58371 **Section:** Planning

SUBJECT: ED1188 Eric Gaughan, Colaiste Lorcaín c/o Building Design partnership (BDP), Blackhall Green, Dublin 7. Exempt Development Application for the installation of ventilation hoods onto the external facade to serve internal classroom MHVR units, replacement of existing high level external single glazed system to the gym hall with double glazed curtain wall system, replacement of existing double height external timber screens & doors to gym hall with curtain walling system with solid aluminium spandrels and doors, repainting of existing façade, replacement of the existing flat roofs and rooflights of the gym hall, changing block with new insulated bitumen roof laid to falls and rooflights, works to install 2x air source heat pumps and the installation of a vandal resistant EVC car charging local electrical enclosure, distribution board and dual car charging outlet

SUBMITTED: ED1188 with recommendation from the Senior Executive Planner and reports from the Council's Technical Officers

ORDER: **I hereby order the following** Kildare County Council, in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended) hereby decides that the installation of ventilation hoods onto the external facade to serve internal classroom MHVR units and the repainting of the existing facade only is development and is exempted development

MADE THIS 7TH DAY
OF MAY YEAR 2025

SIGNED: Alan Dunney
DIRECTOR OF SERVICES

Kildare County Council

Declaration of Exempt Development under Section 5, of the Planning and Development Act 2000



Incomplete application forms will
be deemed invalid and returned

All responses must be in block
letters

Section 1	Details of Applicants
-----------	-----------------------

1. Name of Applicant(s) A. Surname. GAUGHAN Forenames. ERIC
Phone No. Fax No.
2. Address ... COLAISTE LORCAIN, CASTLEDERMOT, ATHY, CO. KILDARE, R14 X620
.....

Section 2	Person/Agent acting on behalf of applicant (if applicable)
-----------	--

1. Name of Person/Agent: Surname. BALLAM Forenames. ELLIOTT
Phone No. 01 474 0600 Fax No.
2. Address. BDP, BLACKHALL GREEN, DUBLIN 7, D07 V0RF
.....

Section 3	Company Details (if applicable)
-----------	---------------------------------

1. Name of Company BDP
Phone No. 01 474 0600 Fax No.
2. Company Reg. No. 197668
.....
3. Address. BLACKHALL GREEN, DUBLIN 7, D07 V0RF
.....

Section 4	Details of Site
-----------	-----------------

1. Planning History of Site. UNKNOWN
.....
2. Location of Proposed Development. COLAISTE LORCAIN, CASTLEDERMOT, CO. KILDARE, R14 X620
.....
OS DETAILS ARE AVAILABLE ON THE ENCLOSED SITE LOCATION PLAN
3. Ordnance Survey Sheet No. (CENTRE POINT CO-ORDINATES: X,Y: 678144.4812, 684862.9652)
.....
4. Please state the Applicants interest in the site APPLICANT IS THE OWNER OF THE SCHOOL
.....
5. Please state the extent of the proposed development.
REPAIR AND MAINTENANCE WORKS TO EXISTING SCHOOL BUILDING ASSOCIATED WITH ENERGY
REDUCTION PROGRAMME

6. Under what Section of the Planning and Development 2000 and/or what provision of the Planning and Development Regulations 2001 is exemption sought (specific details required).....

CLASS 12 FOR THE REPAINTING OF THE EXTERNAL FACADE

7. Please give a detailed description of the Proposed Development (Use separate page if necessary).....

BLOCK A

INSTALLATION OF VENTILATION HOODS ONTO THE EXTERNAL FACADE TO SERVE INTERNAL CLASSROOM MVHR UNITS.

BLOCK C

THE REPLACEMENT OF EXISTING HIGH LEVEL EXTERNAL SINGLE GLAZED SYSTEM TO THE GYM HALL WITH DOUBLE GLAZED CURTAIN WALL SYSTEM, REPLACEMENT OF EXISTING DOUBLE HEIGHT EXTERNAL TIMBER SCREENS & DOORS TO GYM HALL WITH CURTAIN WALLING SYSTEM WITH SOLID ALUMINIUM SPANDRELS AND DOORS, REPLACEMENT OF EXISTING WINDOWS, DOORS AND GLAZED SCREENS TO THE ADJACENT CHANGING BLOCK FACADE WITH SIMILAR, REPAINTING OF EXISTING FACADE.

REPLACEMENT OF THE EXISTING FLAT ROOFS AND ROOFLIGHTS OF THE GYM HALL AND CHANGING BLOCK WITH NEW INSULATED BITUMEN ROOF LAID TO FALLS AND ROOFLIGHTS.

THE WORKS WILL ALSO INCLUDE INSTALLATION OF AN AIR SOURCE HEAT PUMP.

Section 5	The following must be submitted for a valid application
------------------	--

(Please Tick)

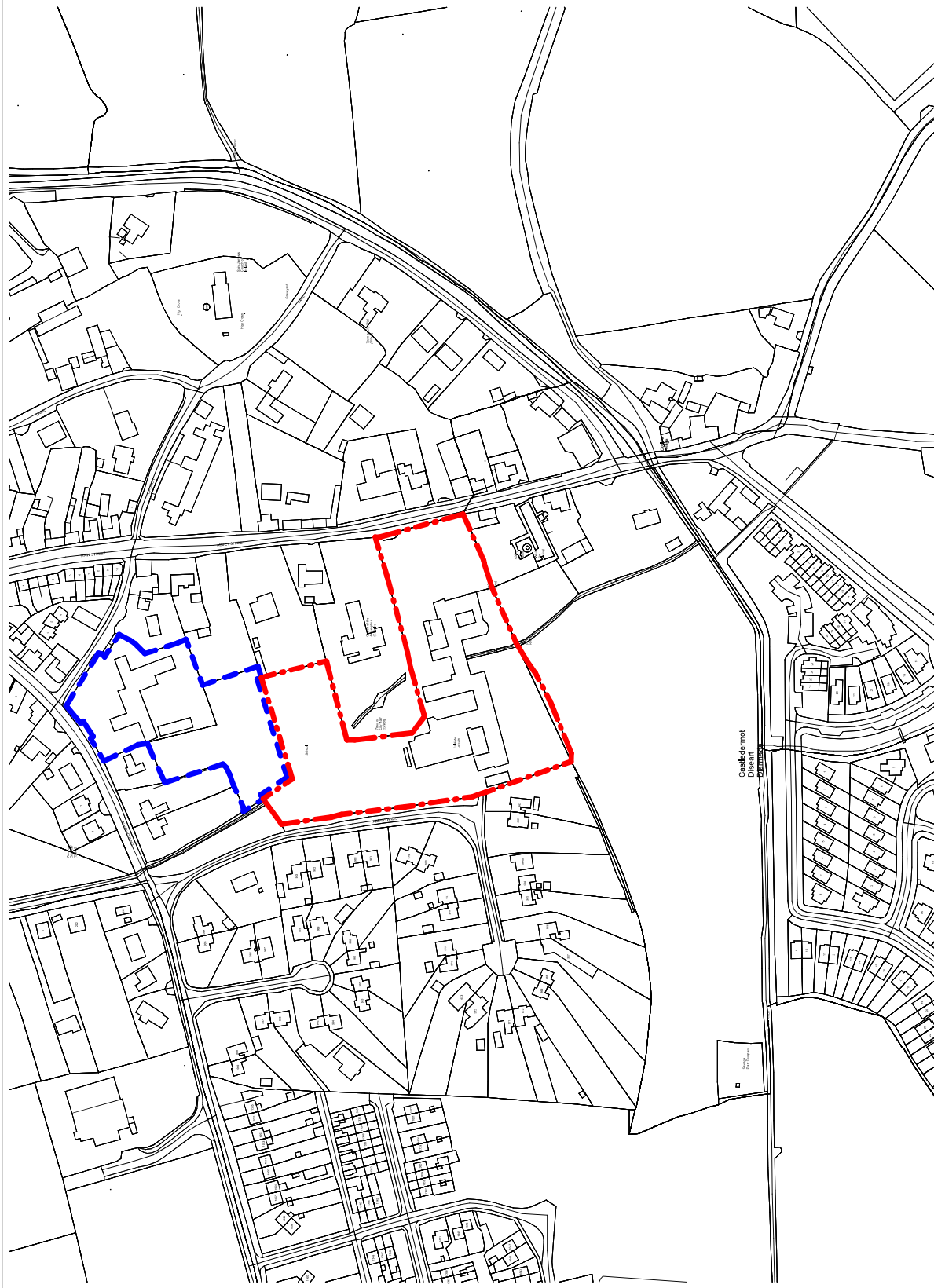
1.	Site Location Map (1:2500 Rural Areas) (1:1000 Urban Areas)	✓
2.	A Site Layout Plan (Scale 1:500) in full compliance with Article 23 of Planning and Development Regulations 2001	✓
3.	Drawings of the development (Scale 1:50) in full compliance with Article 23 of Planning and Development Regulations 2001 <small>*we have provided drawings at scale 1:100 following confirmation over the phone with Kildare CoCo Planning Dept on Fri 24.01.2025 that drawings submitted at 1:100 are acceptable and in compliance with the minimum submission requirements.</small>	✓*
4.	All drawings to differentiate between the original building, all extensions and proposed development	✓
5.	Fee of 80 Euro	✓

Section 6	Declaration
------------------	--------------------



I, ELLIOTT BALLAM certify that all of the above information is correct and I have submitted all the required documents as outlined at Section 6 above.

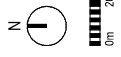
Signature: 

Date: 30.01.2025



Description: Digital Landscape Model (DLM)	
Publisher's Source: Talle Einarum	
File Format: Autodesk AutoCAD (DWG, DWT)	
File Name: _50443197_3.dwg	
Qip Extent / Area of Interest (AOI):	
LX.LLY = 677792.4812,684555.4652	
LX.LLY = 676569.4812,684495.54652	
LX.LLY = 677792.4812,684510.4652	
LX.LLY = 676569.4812,684517.4652	
Projection / Spatial Reference:	
Projection: RENESE5_1983_Transverse_Mercator	
Centre Point Coordinates: X,Y = 678144.4812,684512.4652	
Reference Index: Map Series Map Sheets	
12,500 4194C	
12,500 4194D	
Data Extrinsic Date: Date=15-Jan-2025	
Source Data Release: DCMUS Release V1.183.1	
Product Version: Version= 1.4	
License: Copyright	
Compiled and published by:	
Talle Einarum,	
Phoenix Park,	
Enniscorthy,	
County Wick,	
W08R6E4	
DOI:664	
http://doi.iea.ie	

 Site Application Boundary
 Applicants Adjoining Site Ownership



NOTES

BUILDING DESIGN PARTNERSHIP SHALL HAVE NO RESPONSIBILITY FOR ANY USE OF THE DOCUMENT OTHER THAN THAT FOR WHICH IT WAS PREPARED AND ISSUED.

ALL LICENSES SHOULD BE CHECKED ON SITE.

DO NOT SCALE FROM THE DRAWING.

ANY DRAWING ERRORS OR INCONGENITIES SHOULD BE BROUGHT TO THE ATTENTION OF BUILDING DESIGN PARTNERSHIP AT THE ADDRESS SHOWN BELOW.

DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE FOLLOWING BEFORE WORK COMMENCES.

BDP.

Blackhall Green
Dublin 7
Ireland

T +353 (0)1 474 06
www.bdp.com



An Roinn Oideachais
Department of Education

Colaiste Lorcain

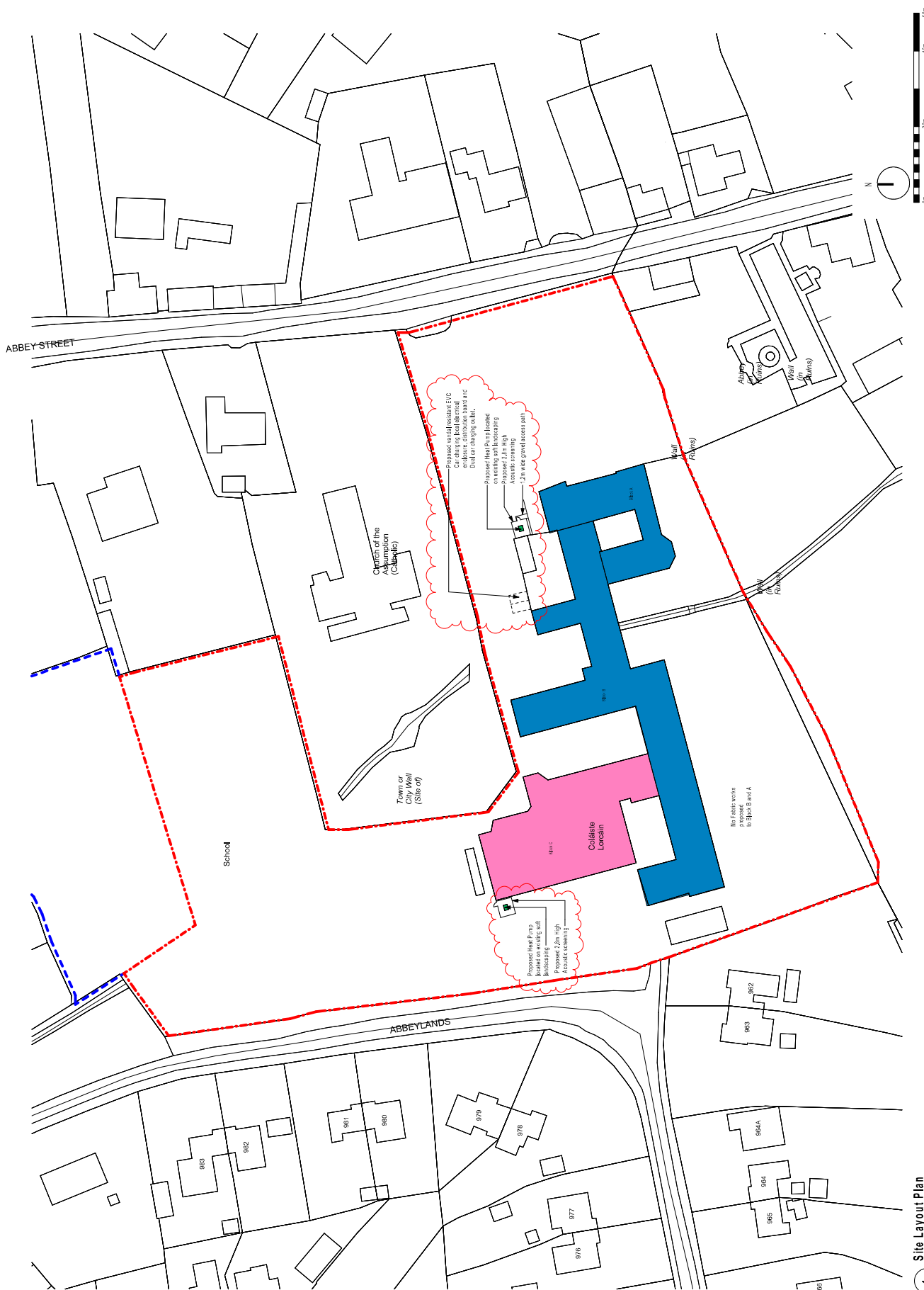
P3004467

Site Location Plan

T +353 (0)1 474 0600
www.bdp.com

P01	Section 5 - Exempt Development Planning Application	AS	SG	28.01.25
REVIEW	DISCUSS	ISSUE	DATE	

07CLR-BDP-XX-XX-PL-A-PP0001	P01
-----------------------------	-----

[illegible]

1 **Site Layout Plan**
1:500

NOTES

THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. IT IS THE POLICY OF THE NATIONAL ARCHIVES TO MAKE ALL INFORMATION CONTAINED HEREIN AVAILABLE TO THE PUBLIC UNLESS IT IS DETERMINED THAT RELEASE OF THE INFORMATION WOULD BE DETERMINED TO BE IN THE INTERESTS OF NATIONAL DEFENSE.

DO NOT SCALE FROM THIS DRAWING
ANY DRAWING DIMENSIONS OR DIMENSIONS SHOULD BE ADJUSTED TO THE
ATTENTION OF THE DESIGN PARTNERSHIP AT THE ADDRESS SHOWN
BELOW.



An Roinn Oideachais
Department of Education

Blackhall Green
Dublin 7
Ireland
T +353 (0)1 474 06
www.belin.com

BDP.

lelorcain

3004467
ite Layout

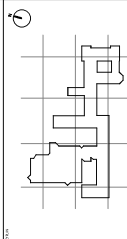
7CLR-BDP-XX-XX-PL-A-PP0002	02
----------------------------	----



NOTES

Point models have been developed utilizing a visual interpretation of the point cloud survey information. All dimensions, structural openings and wall thickness should be checked on site.

P01	Section 5 - Exempl Development Planning	AS	SG	28.01.25
-----	---	----	----	----------



An Roinn Oideachais
Department of Education

BDP.

Blackhall Green
Duffin 7
Ireland
T +353 (0)1 474 0800
www.bdr.co.uk

olaiste | orrain

3004467

Block A Existing Elevations


Items
5701 0 000 74 XV

[illegible]

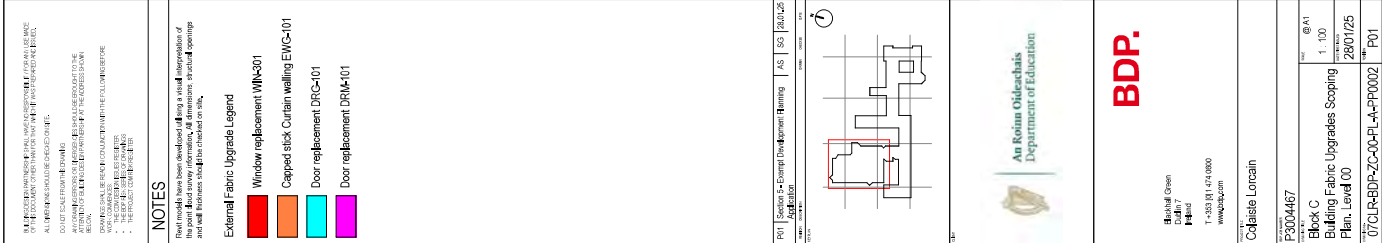


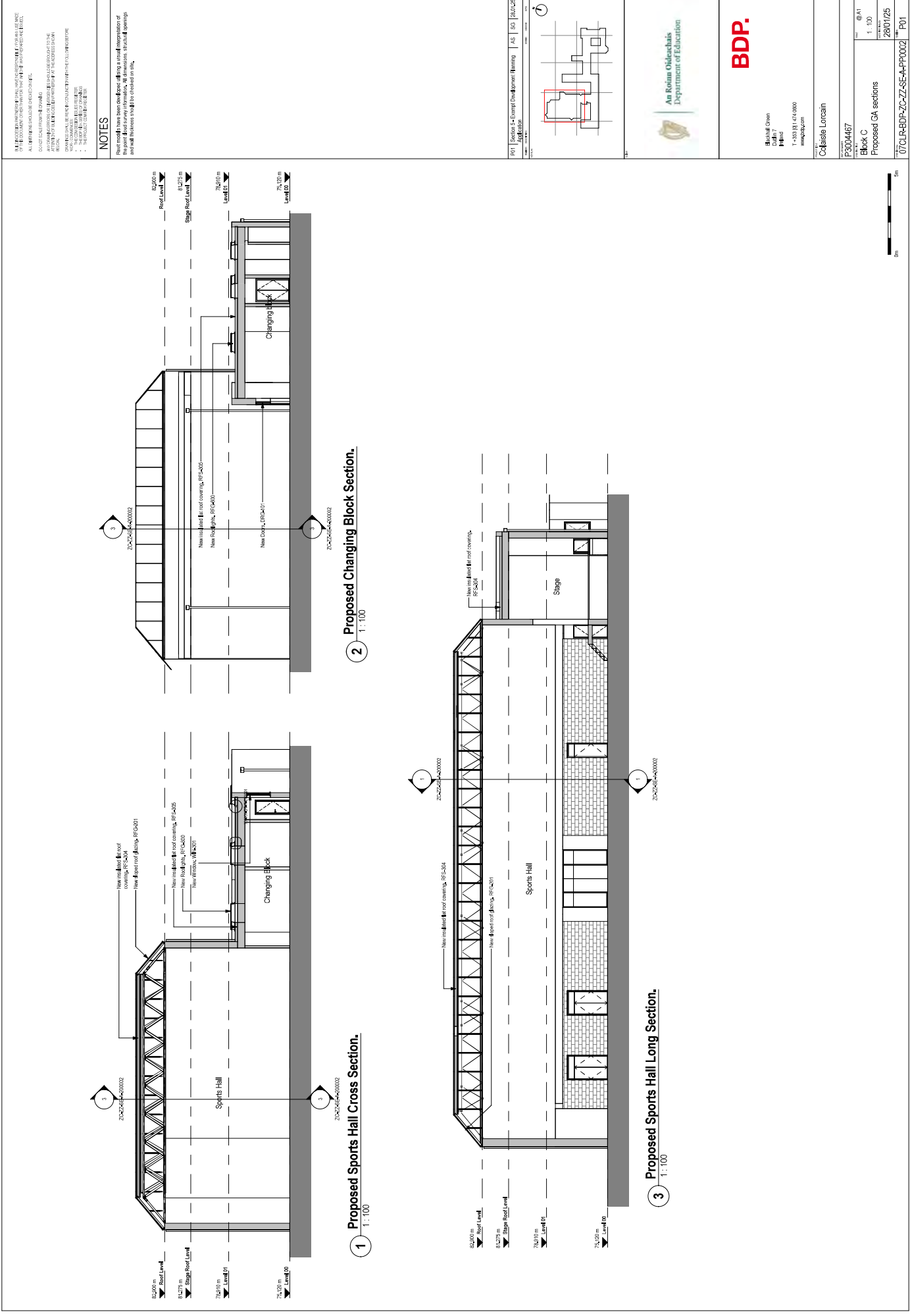
Key

 Indicates pitched roof

 Indicates flat roof

3004467	Block A Existing Roof Plan	DATE 1. 100	BY 28/01/25	NO. P01
---------	-------------------------------	----------------	----------------	------------

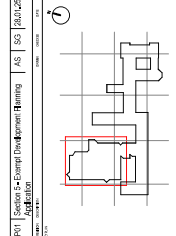




1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

NOTES

Notes should have been developed during a visual interpretation of the point cloud and any information, all dimensions, structural openings and wall thicknesses should be checked on site.



An Roinn Oideachais
Department of Education

BDP.

Bartholomew
Dublin 7
T: +353 (0) 1 474 0000
www.bdp.com

Claire Lorcain

P3004467	Block C	Proposed GA sections	28/01/25	P01
1:100	28/01/25	07CUBDP-ZC-ZE-A-P0002		

0m 5m

Building Design Partnership

Blackhall Green, Dublin 7 Ireland

Tel: +353 (0)1 474 0600

BDP.

Drawing/Document Register –

Section 5 Application

Project: RePowerEU Pathfinders Programme – Lot 7.3
Colaiste Lorcaín (Kildare)

Project No: P3004467

Date: 28th January 2025

Sender: Elliott Ballam

Drawing Series	Drawing Title	Scale	Rev	Date of Issue
	SITE LOCATION			
07CLR-BDP-XX-XX-PL-A-PP0001	SITE LOCATION PLAN	1:2500@A3	P01	28.01.25
07CLR-BDP-XX-XX-PL-A-PP0002	SITE LAYOUT PLAN	1:2500@A3	P01	28.01.25
	EXISTING BUILDING			
BLOCK A				
07CLR-BDP-ZA-00-PL-A-PP0001	BLOCK A - EXISTING GA PLAN – LEVEL 00	1:100@A1	P01	28.01.25
07CLR-BDP-ZA-R1-PL-A-PP0001	BLOCK A - EXISTING ROOF PLAN	1:100@A1	P01	28.01.25
07CLR-BDP-ZA-XX-EL-A-PP0001	BLOCK A - EXISTING ELEVATIONS	1:100@A1	P01	28.01.25
BLOCK C				
07CLR-BDP-ZC-00-PL-A-PP0001	BLOCK C - EXISTING GA PLAN – LEVEL 00	1:100@A1	P01	28.01.25
07CLR-BDP-ZC-R1-PL-A-PP0001	BLOCK C - EXISTING ROOF PLAN	1:100@A1	P01	28.01.25
07CLR-BDP-ZC-ZZ-SE-A-PP0001	BLOCK C – EXISTING GA SECTIONS	1:100@A1	P01	28.01.25
07CLR-BDP-ZC-XX-EL-A-PP0001	BLOCK C - EXISTING ELEVATIONS	1:100@A1	P01	28.01.25
	PROPOSED WORKS			
BLOCK A				
07CLR-BDP-ZA-XX-EL-A-PP0002	BLOCK A - PROPOSED ELEVATIONS	1:100@A1	P01	28.01.25
BLOCK C				
07CLR-BDP-ZC-00-PL-A-PP0002	BLOCK C – BUILDING FABRIC UPDATES SCOPING PLAN – LEVEL 00	1:100@A1	P01	28.01.25

07CLR-BDP-ZC-01-PL-A-PP0002	BLOCK C – BUILDING FABRIC UPDATES SCOPING PLAN – LEVEL 01	1:100@A1	P01	28.01.25
07CLR-BDP-ZC-RP-PL-A-PP0001	BLOCK C – ROOF SCOPE PLAN	1:100@A1	P01	28.01.25
07CLR-BDP-ZC-XX-SE-A-PP0002	BLOCK C – PROPOSED GA SECTIONS	1:100@A1	P01	28.01.25
07CLR-BDP-ZC-XX-EL-A-PP0002	BLOCK C – PROPOSED BUILDING FABRIC UPGRADE ELEVATIONS	1:100@A1	P01	28.01.25

BOIHSR	PAYMENT	240.00	BANK	1799516	1	0	24/01/2025
--------	---------	--------	------	---------	---	---	------------

24/01/2025



Payment SP

+ €240.00

Payee Name:	KILDARE COUNTY COUNCIL
Payee IBAN:	IE69 BOFI 9012 3911 0668 06
Originator Name:	BUILDING DESIGN PARTNERSHIP
Amount:	+ €240.00
Value Date:	24/01/2025
Payment Reference:	Payment
Originator Reference Party:	Not provided by sender
ID code or Originating reference party:	Not provided by sender
Originator ID:	Not provided by sender
Purposes of the Credit Transfer:	Not provided by sender
Payee Reference Party Name:	Not provided by sender
ID code of Payee Reference Party:	Not provided by sender
Remittance Information:	Not provided by sender